



Planning and Development Services Division
Department of Public Works and Engineering
Real Estate Branch



APPLICATION
CONSENT TO ENCROACH AGREEMENT

Request for the City to Approve an Encroachment of an Existing Structure into a Street or Alley.

Both the encroaching property owner (applicant) and the agent (if applicable) must sign this application where indicated. If the property owner is a business entity, a binding authority must sign the application. If the property owner is a type of partnership then the general partner information must also be included with the person's name if an individual or if another business entity list the organization's name and the name of a binding authority and his or her title.

Applicant's Information:

Business Name _____

Binding Authority and Title _____

Signature _____

Address _____

Telephone No. _____

Fax No. _____

E-Mail Address _____

Agent's Information (if applicable):

Business Name _____

Agent _____

Address _____

Telephone No. _____

Fax No. _____

E-Mail Address _____

- 1) Description and total area of the encroachment and the address of the applicant's abutting property. *(Example: A 2-foot building encroachment into a 30-foot-wide alley that is 2 feet by 13 feet long totaling 26 square feet)*

2) Legal description of the property where the encroachment is located, by lot and block, including the name of the subdivision. If the property is not located in a platted subdivision, provide the name of the survey and abstract name. *(Example: Lot 2, Block 4 of the Mayflower Subdivision, out of the Henry Lee Survey, A-1)*

3) A statement detailing the type of encroachment, how the encroachment was created, and how long it has existed.



JRC APPLICATION INSTRUCTIONS



At least (1) one original and (9) nine complete, collated copies of your application with all attachments must be provided and delivered in person by the applicant or authorized agent to:

The Real Estate Branch
Department of Public Works and Engineering
611 Walker, 19th Floor
Houston, Texas 77002

No applications will be accepted by fax, mail, email, or messenger delivery. Applications are accepted each Thursday between 9:00 a.m. and noon, on a first-come first-serve basis except during posted holidays. No appointments are required. Late or incomplete applications will not be accepted, but may be submitted the following Thursday once completed.

Questions may be directed to the Department of Public Works and Engineering, Real Estate Branch at (832) 395-3118, by facsimile at (832) 395-3170, or by email at jrcinfo@houstontx.gov. The Joint Referral Committee website is <http://documents.publicworks.houstontx.gov/latest/joint-referral-committee.htm>. Both the property owner (applicant) and the agent (if applicable) must sign this application where indicated. A signed authorization letter may be substituted for the property owner's signature if an agent is submitting this application. If the property owner is a corporation, the principal (include his or her title within the company) signing the application must be the same person listed. If the property owner is a type of partnership then the general partner must be also be included. If the general partner is business entity, then list the organization's name and the name of the binding principal and his or her title.

1. Your application must include:

- A. A clear 8.5 x 11-inch drawing or map of the subject area highlighted in different colors or cross-hatched in different patterns with a legend indicating property owned by other abutting property owners (if applicable) and the property requested to be sold.
- B. One recently dated aerial photograph and at least (3) three different, full size, recent, clear photograph of the subject area taken from different directions or points of view marked or otherwise indicating the requested property in relation to reference points such as streets, the applicant's property, etc.
- C. The subdivision plat, deed, or other legal instrument that dedicated or conveyed the City's or public's ownership of the subject area in a clearly readable form with the recording information. The subdivision plat must be as large as necessary to accommodate the map and dedicatory language on one page.
- D. Harris County Appraisal District printouts showing the applicant's property ownership, the City's ownership, and any other abutting property owners' ownership if applicable.
- E. Surveys or City drawings of the subject area if available.

F. Title report of the parent tract.

Subdivision plats and deeds may be obtained from the County Clerk's Office, 201 Caroline, 4th Floor, Houston, Texas, 77002 or at branch locations. For directions or general information please call (713) 755-6411.

Copies of City of Houston engineering drawings may be obtained at the City of Houston Permitting Center located at 1002 Washington Avenue, Houston, Texas. For directions or general information please call (832) 394-9000.



1 inch = 25 feet

CITY OF HOUSTON
 Department of Public Works and Engineering
 Geographic Information & Management System (GIMS)



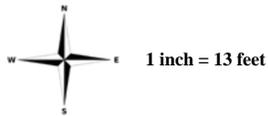
DISCLAIMER: THIS MAP REPRESENTS THE BEST INFORMATION AVAILABLE TO THE CITY.
 THE CITY DOES NOT WARRANT ITS ACCURACY OR COMPLETENESS.
 FIELD VERIFICATIONS SHOULD BE DONE AS NECESSARY.

STREETVIEW LOOKING NORTH FROM FANNIN

ENCROACHMENT INTO FANNIN STREET



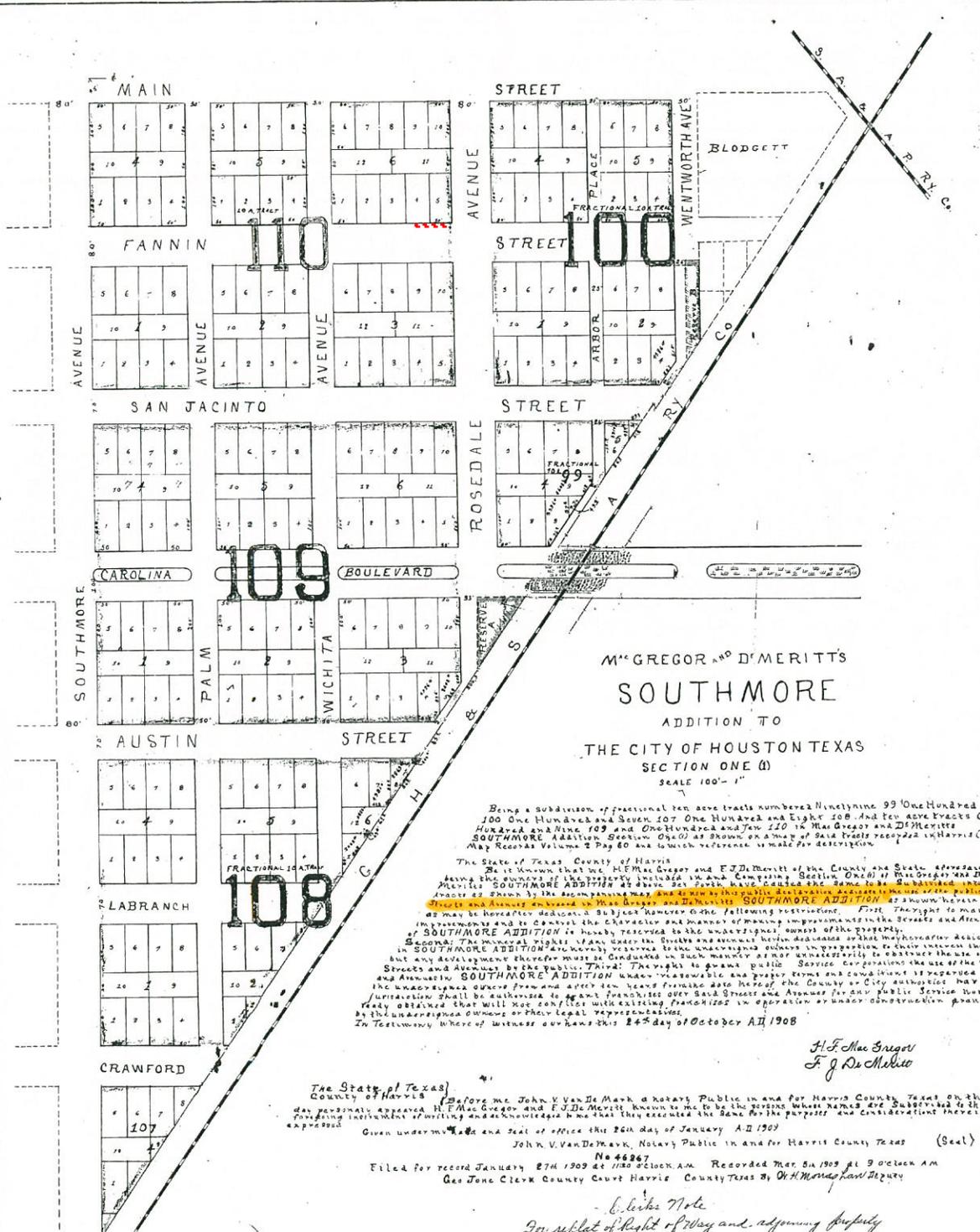
AERIAL MAP



CITY OF HOUSTON
Department of Public Works and Engineering
Geographic Information & Management System (GIMS)

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M. GREGOR AND D. MERITT'S
SOUTHMORE
 ADDITION TO
 THE CITY OF HOUSTON TEXAS
 SECTION ONE (A)
 SCALE 100' = 1"

Being a subdivision of fractional ten acre tracts numbered Ninety-nine 99 One Hundred 100 One Hundred and Seven 107 One Hundred and Eight 108 And Ten acre Tracts One Hundred and Nine 109 and One Hundred and Ten 110 in Mac Gregor and D. Meritt's SOUTHMORE ADDITION Section One (A) as shown on a map of said tracts recorded in Harris County May Records Volume 2 Page 60 and to which reference is made for description.

The State of Texas County of Harris
 Be it known that we H. F. Mac Gregor and F. J. De Meritt of the County and State aforesaid being the owners of the property included in and comprising Section One (A) of Mac Gregor and D. Meritt's SOUTHMORE ADDITION as above set forth have caused this plat to be subdivided into tracts as shown by the accompanying map and to this plat to be recorded in the public records and to have endorsed in Mac Gregor and D. Meritt's SOUTHMORE ADDITION as shown herein on as may be hereafter dedicated. Subject however to the following provisions: First: That the public use, franchises and to control the character and amount of any improvements in the Streets and Avenues of SOUTHMORE ADDITION is hereby reserved to the undersigned owners of the property. Second: The mineral rights if any under the Streets and Avenues herein dedicated or that may hereafter be dedicated in SOUTHMORE ADDITION are hereby reserved to the undersigned owners in proportion to their interest therein but any development therefor must be conducted in such manner as not unreasonably to obstruct the use of the Streets and Avenues by the public. Third: The right to grant public Service Concessions the use of the Streets and Avenues in SOUTHMORE ADDITION under reasonable and proper terms and conditions as reported to the undersigned owners from and after ten days previous to hereof of the County or City authorities having jurisdiction shall be authorized to grant franchises over said Streets and Avenues for any public Service but already obtained that will not conflict with existing franchises in operation or under construction granted by the undersigned owners or their legal representatives.
 In Testimony Whereof witness our hands this 24th day of October A.D. 1908

H. F. Mac Gregor
 F. J. De Meritt

The State of Texas
 County of Harris
 Before me John V. Van De Mark, a Notary Public in and for Harris County, Texas and the day personally appeared H. F. Mac Gregor and F. J. De Meritt known to me to be the persons whose names are subscribed to the foregoing instrument of writing and acknowledged to me that they executed the same for the purposes and considerations therein expressed.
 Given under my hand and seal of office this 26th day of January A.D. 1909
 John V. Van De Mark, Notary Public in and for Harris County, Texas (Seal)

No 46267
 Filed for record January 27th 1909 at 11:50 o'clock A.M. Recorded Mar. 29 1909 at 9 o'clock A.M.
 Geo. J. Long, Clerk County Court Harris County Texas by O. H. Morgan, Notary Deputy

- Clerk's Note
 For replat of right of way and adjoining property
 see map record Volume 6 Page 29 -
 Albert Townsend
 Clerk County Court Harris County Texas
 By John Williamson
 Deputy

OFFICE OF
 F. E. KENDALL CIVIL ENG
 HOUSTON TEX

HARRIS COUNTY APPRAISAL DISTRICT
 REAL PROPERTY ACCOUNT INFORMATION
0332560060004

Tax Year: 2015



| Owner and Property Information | |
|--|---|
| Owner Name & Mailing Address: PROPERTY HOLDINGS LLC 123 SMITH STREET HOUSTON, TEXAS 77004 | Legal Description: LT 5 & TRS 4 & 11A BLK 6 SOUTHMORE OUTLOT 110 Property Address: 4900 FANNIN ST HOUSTON TX 77004 |

| State Class Code | | Land Use Code | | Building Class | | Total Units |
|------------------------|---------------|-------------------------------------|--------------|--------------------|-----------|-------------|
| F1 -- Real, Commercial | | 8002 -- Land Neighborhood Section 2 | | E | | 0 |
| Land Area | Building Area | Net Rentable Area | Neighborhood | Market Area | Map Facet | Key Map® |
| 11,250 SF | 9,590 | 0 | 5903.01 | 4002 -- South Main | 5356D | 493W |

Value Status Information

| Capped Account | Value Status | Shared CAD |
|----------------|--------------------|------------|
| Pending | All Values Pending | No |

Exemptions and Jurisdictions

| Exemption Type | Districts | Jurisdictions | ARB Status | 2014 Rate | 2015 Rate |
|----------------|-----------|-----------------------|------------|-----------|-----------|
| None | 001 | HOUSTON ISD | Pending | 1.196700 | |
| | 040 | HARRIS COUNTY | Pending | 0.417310 | |
| | 041 | HARRIS CO FLOOD CNTRL | Pending | 0.027360 | |
| | 042 | PORT OF HOUSTON AUTHY | Pending | 0.015310 | |
| | 043 | HARRIS CO HOSP DIST | Pending | 0.170000 | |
| | 044 | HARRIS CO EDUC DEPT | Pending | 0.005999 | |
| | 048 | HOU COMMUNITY COLLEGE | Pending | 0.106890 | |
| | 061 | CITY OF HOUSTON | Pending | 0.631080 | |
| | 295 | MIDTOWN TIRZ 2A (040) | Pending | | |
| | 304 | MIDTOWN TIRZ 2A (048) | Pending | | |
| | 593 | MIDTOWN TIRZ 2A (061) | Pending | | |
| | 953 | MIDTOWN MGMT DIST | Pending | 0.118100 | |
| | 972 | MIDTOWN TIRZ 2A (001) | Pending | | |

Valuations

| Value as of January 1, 2014 | | | | Value as of January 1, 2015 | | | |
|-----------------------------|---------|-----------|-------------|-----------------------------|-----------|--|--|
| | Market | Appraised | | Market | Appraised | | |
| Land | 562,500 | | Land | | | | |
| Improvement | 363,312 | | Improvement | | | | |
| Total | 925,812 | 925,812 | Total | Pending | Pending | | |

Land

| Market Value Land | | | | | | | | | | | | |
|-------------------|-------------------------------------|-----------|-----------|--------|-------------|-------------|-----------------|-----------------|-----------|------------|----------------|---------|
| Line | Description | Site Code | Unit Type | Units | Size Factor | Site Factor | Appr O/R Factor | Appr O/R Reason | Total Adj | Unit Price | Adj Unit Price | Value |
| 1 | 8002 -- Land Neighborhood Section 2 | 4353 | SF | 11,250 | 1.00 | 1.00 | 1.00 | -- | 1.00 | Pending | Pending | Pending |

Building

| Building | Year Built | Remodeled | Type | Style | Quality | Impr Sq Ft | Building Details |
|----------|------------|-----------|---|-----------------|---------|------------|------------------|
| 1 | 1970 | 2002 | Office Bldgs. Low-Rise (1 to 4 Stories) | Office Building | Low | 9,590 | Displayed |

Building Details (1)

| | |
|--|--|
| | |
|--|--|

| Building Data | |
|-------------------------|--------------------|
| Element | Detail |
| Cooling Type | Central / Forced |
| Construction Type | Wood / Steel Joist |
| Functional Utility | Avg/Normal |
| Heating Type | Hot Air |
| Partition Type | Normal |
| Physical Condition | Avg/Normal |
| Plumbing Type | Good |
| Sprinkler Type | None |
| Exterior Wall | Br / Concr Block |
| Economic Obsolescence | Normal |
| Element | Units |
| Wall Height | 10 |
| Interior Finish Percent | 100 |
| Elev: Elect / Pass | 1 |

| Building Areas | |
|----------------------|-------|
| Description | Area |
| BASE AREA PRI | 4,970 |
| BASE AREA UPR | 4,620 |
| CNPY ROOF W/ SLAB -C | 117 |

| Building Features | |
|----------------------|-------|
| Description | Units |
| CANOPY ROOF AND SLAB | 1 |
| Paving - Asphalt | 1 |